

Seasons Towns Site Plan Approval Planning Commission Report		
Applicant:	Paul Willie	
Requested Action/Purpose:	Approval of a multi-family residential site plan	
Location:	Morning Vista Road and Seasons View Drive	
Project Area:	14.52 acres	
Existing Zoning:	PC	
General Plan Land Use Designation:	HDR	
Existing Land Use:	Undeveloped	
Adjacent Zoning and Land Use:	<i>North:</i>	PC Undeveloped – Approved concept
	<i>South:</i>	PC Morning Vista Road
	<i>East:</i>	PC Seasons at Traverse Apartments
	<i>West:</i>	PC Undeveloped – Approved concept
Date of Last DRC Review:	January 27, 2016	

Required Action

Planning Commission:	Final approval
City Council:	No action required

APPLICABLE DEVELOPMENT CODE REGULATIONS

Section 11.250. Site Plan Approval Process. (Am 5/22/01; 08/13/02; 11/09/04)

The review and approval process for a Site Plan shall be as follows:

Permitted Uses (2) Site Plans associated with a permitted use and with a total valuation, including building and all associated improvements, greater than \$500,000 dollars shall require approval by the Planning Commission, following a review by the DRC. The Planning Commission may require that the approval of a Site Plan be forwarded to the City Council if they determine a project is likely to have a significant impact on traffic, environmental quality, lighting, compatibility of uses, or the health, safety, or general welfare of the surrounding properties, property values, or residents. The Planning Commission and or City Council may hold a public hearing on any project likely to have a significant impact on the surrounding property, values or residents.

Section 37.040. Multi-Family Residential Design Standards

3. Building Materials. The majority (51% or more) of each façade shall be constructed of the following exterior building materials: brick, stone, fiber/cement siding, or other durable building material as approved by the Planning Commission. Stucco or metal may be allowed by the Planning Commission as an accent or secondary material only. Metal clad buildings, or large sections of stucco or vinyl siding are prohibited.

4. Vertical Separation. Buildings in excess of two (2) stories in height shall exhibit architectural detailing that establishes a vertical separation between lower and upper stories. This may be accomplished by a mid-façade cornice or trim, a change in material, style or color, a façade step-back or roof pitch with dormer windows, or other methods

5. Building Entrances. Building entrances shall be oriented towards the street or a common courtyard area and provide connecting pedestrian access between the street or courtyard areas (see Figure 22).

7. For multi-family dwellings greater than four (4) units, no wall, roof line, or an unbroken plane shall be longer than sixty (60) feet (see Figure 24). At least four (4) or more of the following architectural features shall be incorporated into the design of the building: a change in building materials, building projections measuring at least three (3) feet in depth, roof line variations measuring at least three (3) feet in height, awnings and lighting, or another architectural variation that creates visual interest.

HISTORY

July 26, 1997 – This property was annexed to Lehi City as the Deerfield Annexation included the subject property and most of what is now within the Traverse Mountain Planned Community.

Dec 4, 2000 – The Fox Ridge Area Plan was recorded for what is now Traverse Mountain which designated Planned Community zoning to the subject property.

September 24, 2015 – The Planning Commission reviewed a concept for Seasons Phases 4 and 5 which included the subject property. At that meeting the Planning Commission made the following motion:

Ryan Marshall moved to provide a favorable recommendation for Mountain States Property Management's request for a Concept Plan for the Seasons at Traverse Phases 4 & 5, a 107.67 acre residential project located off Morning Vista Road in a Planned Community zone noting the applicants comments tonight and include an agreement that the proposed development will be in the HOA in the area; further incorporating the DRC comments with a suggested recommendation that at the next round they consider some connectivity with the different neighborhood areas on the eastern portion of the development; with the further findings of fact that the proposed concept is consistent with our Development Code and with the Area Plan and conforms to the general goals and policies of the City, we've not identified a particular area of health, safety, welfare of morals of the City that are adversely affected, with the further note that the developer consider some sort of widening of the roads in locations at intersections to facilitate school bus access. Second by Jared Peterson. Motion carried unanimous.

October 13, 2015 – The City Council approved the concept plan for Seasons Phases 4 and 5.

ANALYSIS

The applicant is requesting site plan approval for Seasons Towns, a proposed multi-family residential site plan. The site plan includes 92 for-rent townhome units, 7 less than what the concept plan showed. The land use designation on the Area Plan is B1 HDR3 with a maximum of 129 units allowed. Townhomes are a permitted use in the HDR designation of the Traverse Mountain Area Plan. A final subdivision plat has been submitted concurrently with this request to create the parcel for this development.

The DRC made a critical issue comment that this site plan is tied to the grading of the rest of East Canyon. The Traverse Estates preliminary subdivision has been submitted concurrently with this item which includes the single family phases shown on the concept plan. A grading permit was submitted for the required areas in East Canyon which includes Planning Areas B, D, and C2 and will trail the site plan and preliminary subdivision applications.

The site plan shows 10.1 acres of open space which accounts for 70% of the total site. Parking is shown with two stalls per unit within an enclosed garage and 41 surface stalls for a total of 225 which meets and exceeds the parking requirement. The units are shown with rear loading garages oriented to Morning Vista Road and the open space areas which meet the garage orientation standard of the Development Code. The DRC commented that the applicant address the units fronting Morning Vista Road and that sidewalk connections should be included from those units to the Morning Vista Road trail.

The elevations show the use of brick, fiber cement siding, and stucco for exterior building materials. The DRC commented that the applicant must provide a breakdown to show that the 51% hard surface material requirement is met for each side of the proposed buildings. The elevations show some pop-outs, change in materials, awnings over the 2-story unit front doors, and some roofline variation on the 2-story units. The DRC commented that the elevations need to include more wall and roof variations.

Proposed amenities for this project include a clubhouse, a sports court, 2 playgrounds, and 7 picnic pavilions which meets the requirements of the Development Code. The applicant must provide some additional details for the club house including elevations and a floorplan to ensure the minimum 750 square foot size requirement is met.

Please consider other DRC comments as part of the motion.

RECOMMENDATIONS/POSSIBLE ACTIONS

If the Planning Commission finds that the proposed use and site plan comply with the applicable Development Code requirements, the Permitted Use and Site Plan may be approved. If the request does not comply, the Planning Commission should notify the applicant what requirements have not been satisfied and whether the applicant should submit a different development application. Please remember to include findings as a part of the motion.

SUGGESTED FINDINGS

The Lehi City Development Code does not identify specific findings that must be made by the Planning Commission on an approval of a commercial site plan. Although no specific findings are identified by the Development Code, staff has prepared the following findings that may be considered as part of the motion:

1. The proposed site plan is not detrimental to the public health, safety, and welfare of Lehi City.
2. The proposed site plan meets the requirements of the Lehi City Development Code in regards to site plan approval.

3. Other findings based upon information presented during the Planning Commission approval.

**Seasons Towns Site Plan Review
DRC Redline Comments**

Paul Willie – Requests Site Plan review for Seasons Towns, a 14.52 acre development located on Morning Vista Road and Morning View Way.

DRC Members Present: Glade Kirkham, Kerry Evans, Greg Allred, Todd Munger, Kim Struthers, Gary Smith, Mike Howell, Ross Dinsdale, Steve Marchbanks

Representatives of the Applicant Present: Tom Romney, Taylor Morgan, Sean Olybrando, Scott Overman, and Paul Willie

Date of Plans Reviewed: 1/21/16

Time Start: 1:10 PM

Time End: 1:55 PM

CRITICAL ISSUES:

1. The grading for this project is tied to the grading of the rest of East Canyon. As per the Grading section of the Area Plan, all of the grading must be done simultaneously in one phase. This project cannot be allowed to be constructed until there is a preliminary plat approval on the remaining East Canyon Area as well as an approved grading permit for this project and the other East Canyon property so that it can all be graded together.
2. Traverse Mountain water source is deficient for this development and must be resolved with the Engineering Department prior to final plat approval.

DRC REDLINE COMMENTS:

Brent (Glade) – Power:

1. Add a note that the HOA will own and maintain the lighting

Kerry – Fire:

Greg – Water/Sewer:

2. On Morning Hill Drive, verify that the existing 14”x6” reducer at the cross can be replaced with a 14”x8” reducer.
3. Remove existing blow-off and use the existing cross for connection on Morning Hill Drive.
4. Traverse Towns Drive - Move culinary lines to the west side of the road into the paved area.
5. On Morning Hill Drive - Sewer main is stubbed into the current project and is a 10” size. Storm drain is stubbed into the project which must be eliminated at the manhole.

Todd – Public Works: No comments

Kim – Planning:

6. Project must meet the Multi-Family Design Standards including the following:
 - a) Provide a breakdown of the building materials for each side of the building elevations to ensure that each wall (excluding window and door areas) has at least 51% hard surface.
 - b) The building elevations need to include more wall and roof variations. Section 37.040 requires that for multi-family units, no wall, roofline or an unbroken plan be any longer than 60 feet, and that at least the following 4 architectural features be incorporated into each wall of the building: a change in building materials, building projections measuring at least 3 feet in depth, roof line variations measuring at least 3 feet in height, awnings, lighting or another architectural variation that creates visual interest.
 - c) Address the requirement of the units fronting the public road (Morning Vista). Sidewalk connections should be provided from the trail along Morning Vista to the front of the units along Morning Vista.
7. Label the open space as open space
8. Recommend changing the project name to “Season Towns”

Gary – Building/Inspections: No comments

Mike – Public Works: No comments

Ross – Engineering:

9. Sheet C5 - Callout orifice plate for north detention pond.

Craig (Steve) – Parks:

10. Provide a full landscape and sprinkler plan, including plant tabulations
11. On the west side of Season’s View Dr, include the area in the landscape plan
12. Provide details on the amenities including pavilion design, sport court, and the clubhouse floorplan and elevations.

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.

PRIOR TO PRECONSTRUCTION MEETING:

1. Provide an engineer's cost estimate for the cost of all improvements.
2. Escrow or Letter of Credit Bond Agreement and Public/Private Improvement Agreement for all public and private improvements must be in place.
3. Reimbursement Agreement for any reimbursable improvement items must be in place.
4. Provide a title report to be reviewed by Lehi City Attorney.
5. Need surveyor's and engineer's stamps on construction drawings.
6. New property line adjacent to existing roads must be staked and reviewed by the City.
7. Provide signed easement verification sheet.
8. Off-site easements (turnarounds, utilities, power, etc).
9. Provide a copy of any necessary boundary line agreement(s).
10. New project startup form for Lehi City Storm Water
11. Subdivision plat must be recorded
12. Provide a copy of the State NOI
13. The building elevations need to be reviewed by the Traverse Mountain Architectural Review Committee.
14. Comments from Planning Commission approval

DRC GENERAL COMMENTS:

1. On the power, developer will install conduit; Lehi City Power will install all other required power infrastructure shown on the plans and charge the developer for the costs. These costs are separate from power impact fees that are paid with the building permit.
2. Power infrastructure (all conduit, conductors, and equipment) must be in place prior to beginning ANY building construction. Power conduit and equipment is placed AFTER curb, gutter and sidewalk.
3. Developer is responsible to purchase, move or remove any existing RMP facilities.
4. Developer is responsible to furnish adequate rights of way or easements for construction of off-site power line extensions.
5. Once approved by the Planning Commission plans may be submitted for check-off. Check-off plans consist of one 24x36 set of complete plans submitted to the Planning Department. When changes need to be made to a check-off set, revise the affected sheets only. Each new submittal will require a revision date on each new sheet.
6. Prior to the pre-construction meeting, Lehi City Staff will make copies of plans for the meeting from the check-off set and the developer will pay fees for the copies.
7. All signage will require a separate review and approval process
8. The approval of a development shall be effective for a period of two (2) years from the date the development is approved by the Planning Commission

THIS ITEM WILL BE SCHEDULED FOR PLANNING COMMISSION FEBRUARY 11, 2016

Note: This list of corrections and deficiencies should not be considered as an all-inclusive or final list. The items listed need to be corrected and resolved and a new set of information submitted for review by the DRC. Further corrections and deficiencies may still be noted as the DRC further reviews the resubmitted information.

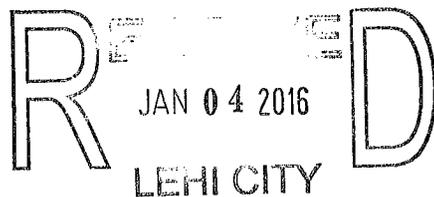
Seasons
Traverse Mountain Townes

Traverse Mountain Townes is a high end, resort styled, multi-family development offering 2 and 3 bedrooms townhouse style units with one and two car, attached garages, and some family rooms, and dens. There will be 100 townhomes in the development situated in two, four and six-plex buildings. The exteriors will have rock, brick, cement board and stucco with spacious low-e glass windows and walk out decks for every residence. The roof lines will have both gables and hip roofs with architectural grade asphalt shingles.

Interior finishes will include quartz counter-tops, hardwood cabinetry, plank floor coverings, milled woodwork, 9 ft. ceilings and high energy efficiency appliances and lighting packages. Keys will be an electronic key system.

In keeping with the resort style community, Traverse Mountain Townes will have several on site amenities, including a clubhouse, fitness center, game center, stadium theater room, and several outdoor cabana styled picnic barbeque areas and playground facilities.

The views from the outdoor decks of the Traverse Mountain Townes will offer panoramic views of the lake and the mountains which backdrop this unique location.



LEHI Morning View Way
4120
LEHI Morning View Way
1500 West

STOP

SPEED
LIMIT
30

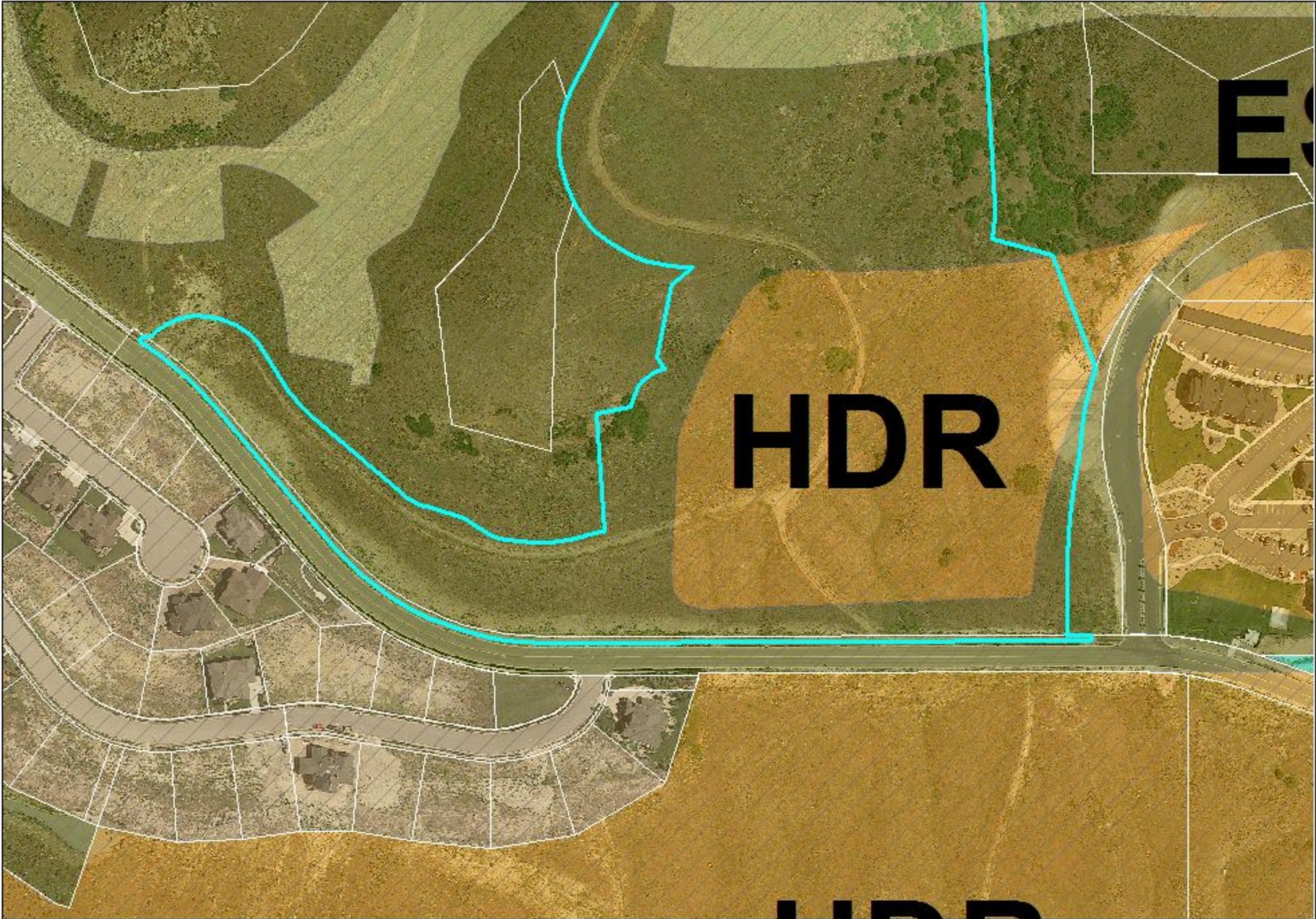






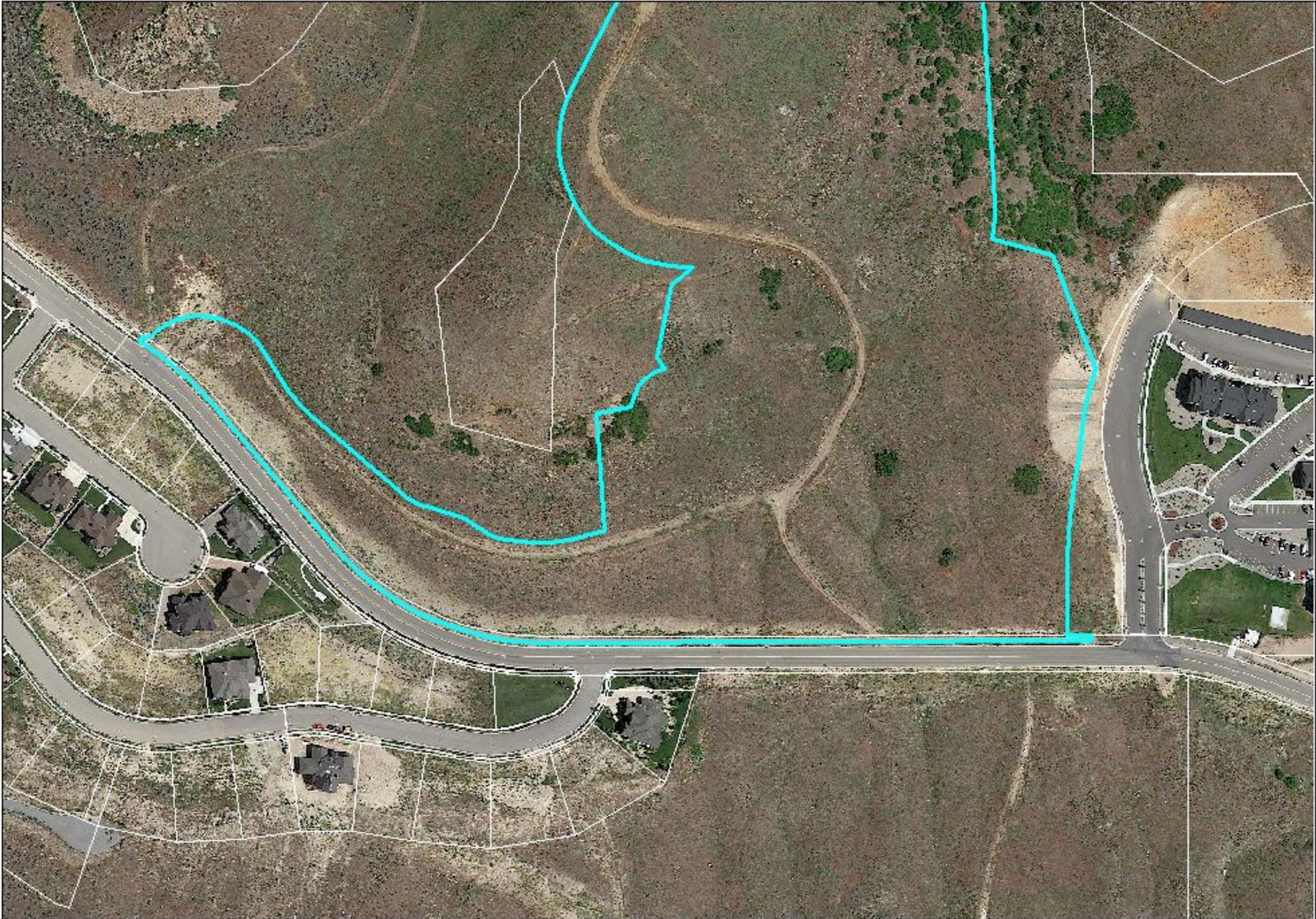
Seasons Towns

General Plan



Seasons Towns

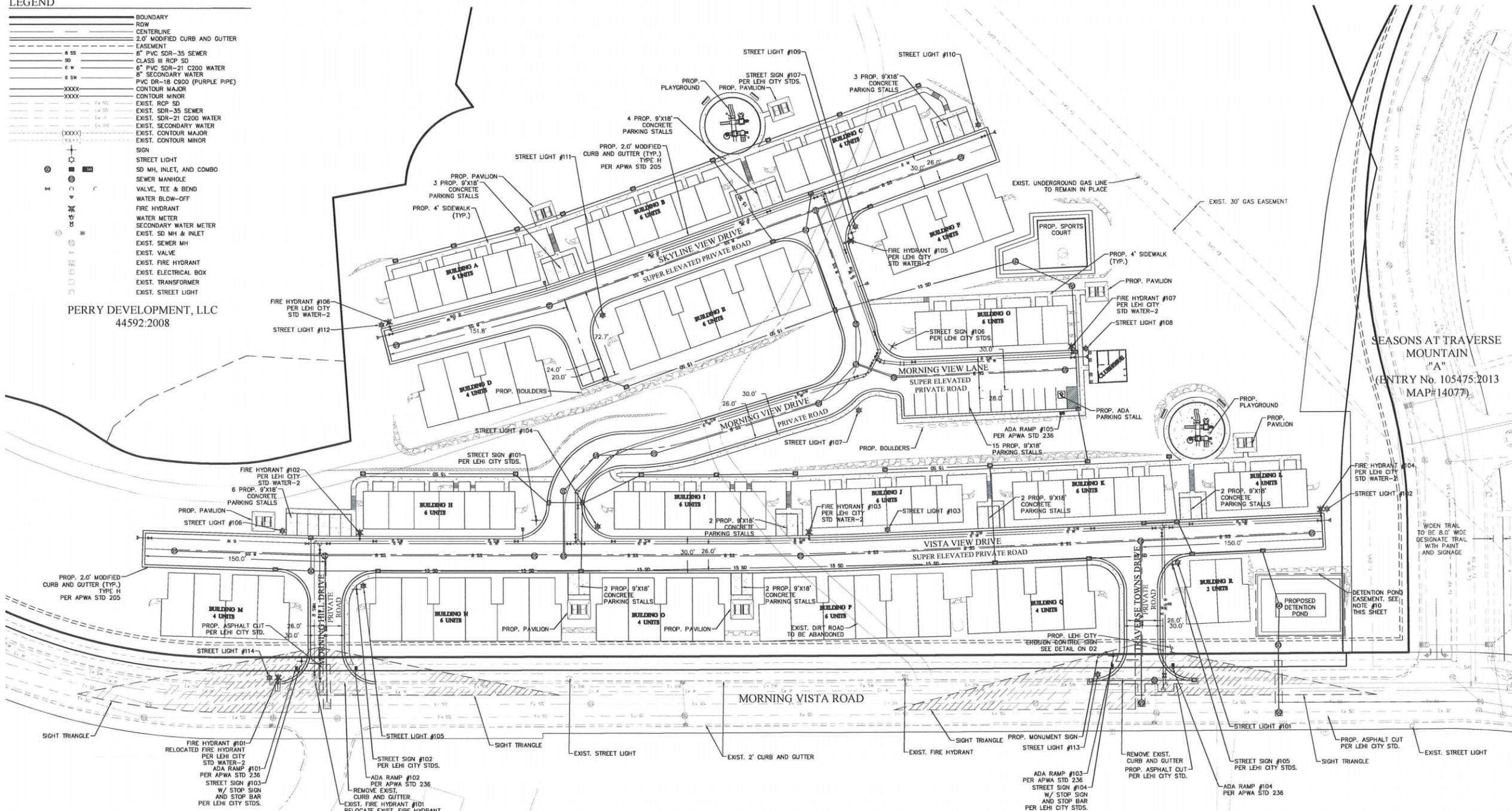
Aerial



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	2.0' MODIFIED CURB AND GUTTER
---	EASEMENT
SS	8" PVC SDR-35 SEWER
SD	CLASS III RCP SD
EW	8" PVC SDR-21 C200 WATER
SW	8" SECONDARY WATER
---	PVC DR-18 CS90 (PURPLE PIPE)
XXXX	CONTOUR MAJOR
XXXX	CONTOUR MINOR
---	EXIST. RCP SD
---	EXIST. SDR-35 SEWER
---	EXIST. SDR-21 C200 WATER
---	EXIST. SECONDARY WATER
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	WATER METER
+	SECONDARY WATER METER
+	EXIST. SD MH & INLET
+	EXIST. SEWER MH
+	EXIST. VALVE
+	EXIST. FIRE HYDRANT
+	EXIST. ELECTRICAL BOX
+	EXIST. TRANSFORMER
+	EXIST. STREET LIGHT

PERRY DEVELOPMENT, LLC
44592.2008



SEASONS AT TRAVERSE MOUNTAIN
"A"
(ENTRY No. 105475:2013
MAP#14077)

UNIT COUNT: 92 UNITS

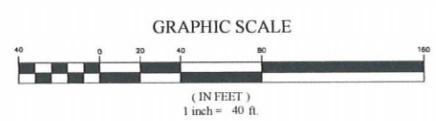
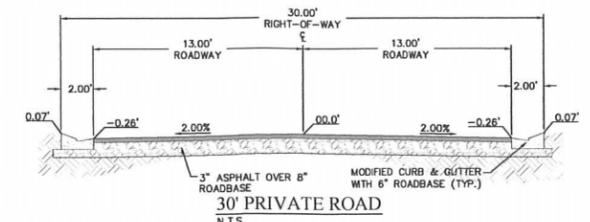
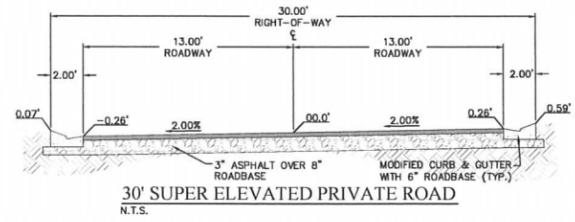
PARKING TABULATION:
GARAGES STALLS: 184
PARKING STALLS: 41
TOTAL STALLS: 225

SITE AREA: 14.52 ACRES
OPEN SPACE/ LANDSCAPED AREA: 10.19 ACRES
HARD SURFACE AREA: 4.33 ACRES
ROADWAY DEDICATION: 2416.18' ALONG CENTERLINES

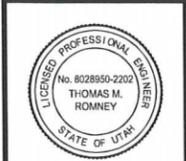
- NOTES:**
1. THIS PROJECT IS ZONED PC.
 2. ALL PARKING STALLS ARE 18' LONG BY 9' WIDE PER DETAIL ON SHEET D1.
 3. ALL ADA ACCESSIBLE PARKING STALLS ARE 18' LONG BY 9' WIDE PER DETAIL ON SHEET D1.
 4. ALL ADA LOADING ZONES ARE 18' LONG BY 9' WIDE PER DETAIL ON SHEET D1.
 5. ALL CURB AND GUTTER WITHIN THE BOUNDARY OF THE PROPOSED APARTMENT PROJECT WILL BE PRIVATE.
 6. THERE ARE NO EXISTING OR PROPOSED FENCES FOR THIS PROJECT.
 7. THERE ARE NO INDICATIONS OF WETLANDS, FLOOD PLAINS, AREAS OF GROUND WATER RISE, WITHIN 2 FEET OF THE EXISTING SURFACE, VEGETATION AREAS OR THREATENED OR ENDANGERED SPECIES HABITAT AREAS.
 8. THERE ARE NO LIMITED ACCESS RESTRICTIONS.
 9. A BLANKET UTILITY EASEMENT OUTSIDE OF ALL BUILDINGS WILL BE PROVIDED.
 10. PERMANENT DETENTION FACILITY TO BE OWNED AND MAINTAINED BY THE OWNERS OF THIS PROPERTY NOT TO BE ALTERED OR REMOVED WITHOUT APPROVAL FROM THE LEHI CITY COUNCIL AND LEHI CITY ENGINEER.

BUILDING AREA

BUILDING	LIVING	GARAGE
A,B,C,G,H,I,J,& K	SF	SF
L	SF	SF
E,N,& P	SF	SF
D,F,M,O,& Q	SF	SF
R	SF	SF



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 P/E: (801) 352-0075
www.focusutah.com



TRAVERSE TOWNS
LEHI
Seasons
SITE PLAN

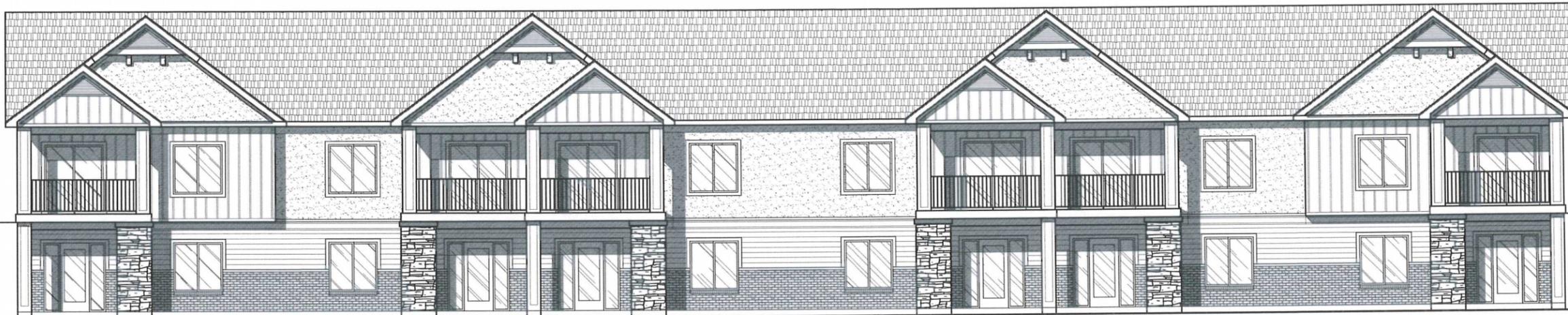
REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

SITE PLAN

Scale: 1"=40'
Date: 01/21/15
Job #: 15-278
Sheet: C3

2. 2015\15-278 Seasons Towns\Lehi\Design 15-278\Draw\Sheets\C3 SITE PLAN.dwg

Tuttle and Associates, Inc.
ARCHITECTS
 1648 E. 3300 S.
 SALT LAKE CITY, UT 84119
 TEL: (801) 488-1989

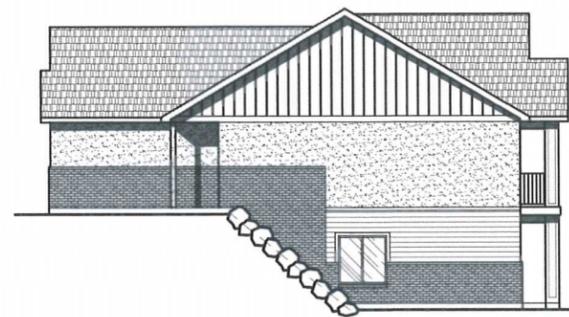


9'-1 1/8"
 LIVING LEVEL
 9'-1 1/8"

A FRONT ELEVATION
 A-201.2 SCALE: 3/16" = 1'-0"

TRAVERSE TOWNS
 Lehi, Utah

EXTERIOR ELEVATIONS
2-STORY BUILDING



C SIDE ELEVATIONS
 A-201.2 SCALE: 1/8" = 1'-0"

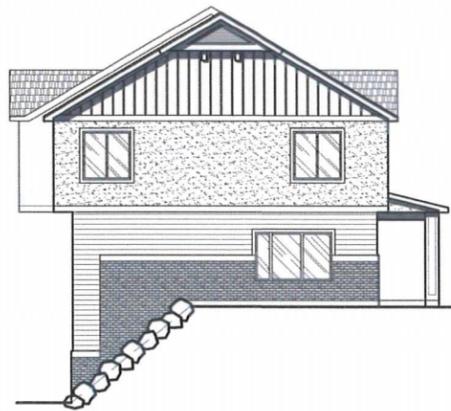


B REAR ELEVATION
 A-201.2 SCALE: 1/8" = 1'-0"

DATE	Jan. 20, 2016
REVISION	
DESIGNER	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
PROJECT NO.	A-201.2



A FRONT ELEVATION
A-201.1 SCALE: 1/4" = 1'-0"



C SIDE ELEVATIONS
A-201.1 SCALE: 1/8" = 1'-0"



B REAR ELEVATION
A-201.1 SCALE: 1/8" = 1'-0"

Tuttle and Associates, Inc.
ARCHITECTS
LEAH 3300 S
1411 LEAVY LANE, UTAH 84043
PH: 801.225.4444
WWW.TUTTLEANDASSOCIATES.COM

TRAVERSE TOWNS
Lehi, Utah

EXTERIOR ELEVATIONS
3-STORY BUILDING

DATE	Jan. 20, 2016
BY	
CHECKED	
DESIGNED	
DRAWN	
SCALE	
NO.	A-201.1



**Seasons at Traverse
Mountain Phase 2-
Opt.3A**

Salt Lake City, UT
15-3815A BTR

Sales Representative

RECEIVED
JAN 21 2015
BIG T RECREATION
LEHI CITY

Equipment Manufacturer

PLAYWORLD
The world needs play.

**Seasons at Traverse
Mountain Phase 2-
Opt.1A**

Salt Lake City, UT
15-3811A BTR

Sales Representative



Equipment Manufacturer





BIG T RECREATION
 949 East Pioneer Rd, Suite A4
 Draper, UT 84020

EQUIPMENT SIZE:
20'-9" x 13'-7" x 6'-0"

USE ZONE:
60'-2" x 35'-5"

AREA: **2060 SqFt.** PERIMETER: **175'-6"**

FALL HEIGHT:
6 Ft.

USER CAPACITY: **30** AGE GROUP: **5-12**

ADA SCHEDULE	Total Elevated Play Activities: 6		
	Total Ground-Level Play Activities: 2		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	3	2	2
Provided	5	2	2

- ✓ ASTM F1487-11
- ✓ CPSC #325



PROJECT NO:
15-3811A

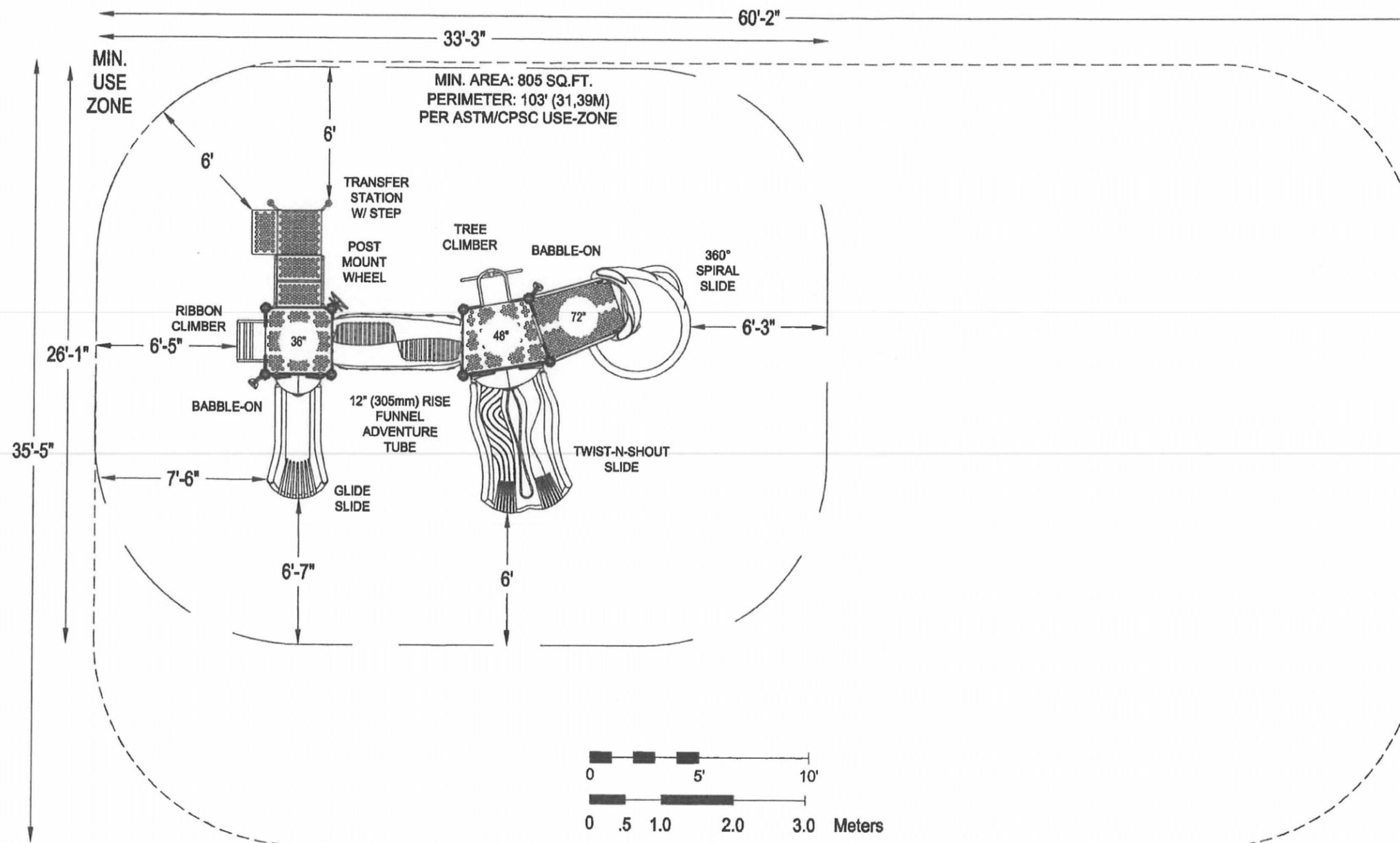
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DRAWN BY:
I. PERKINS

Paper Size
B

DATE:
10-AUG-15

SEASONS AT TRAVERSE MOUNTAIN PHASE 2 - OPT 1A
 SALT LAKE CITY, UT



*PLAYGROUND SUPERVISION REQUIRED



**Seasons at Traverse
Mountain Phase 2-Opt.2A**

Salt Lake City, UT

15-3814A BTR

Sales Representative



Equipment Manufacturer





BIG T RECREATION
 949 East Pioneer Rd, Suite A4
 Draper, UT 84020

EQUIPMENT SIZE:
23'-11" x 14'-7" x 6'-0"

USE ZONE:
60'-2" x 35'-5"

AREA: **2060 SqFt.** PERIMETER: **175'-6"**

FALL HEIGHT:
8 Ft.

USER CAPACITY: **30** AGE GROUP: **5-12**

ADA SCHEDULE	Total Elevated Play Activities: 6		
	Total Ground-Level Play Activities: 3		
	Accessible Elevated Activities	Accessible Ground-Level Activities	Accessible Ground-Level Play Types
Required	3	2	2
Provided	3	3	3

- ✓ ASTM F1487-11
- ✓ CPSC #325



PROJECT NO:
15-3814A

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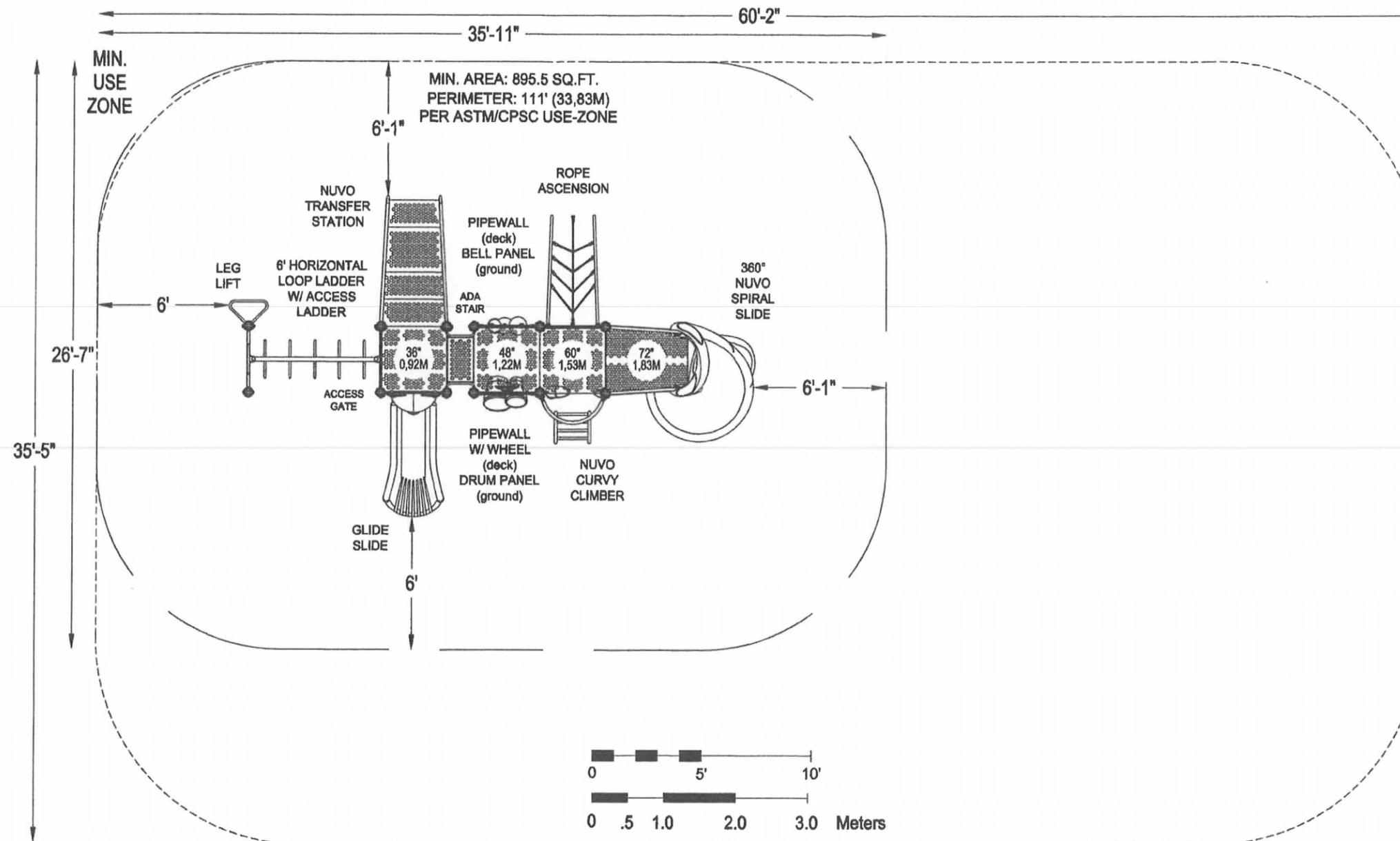
DRAWN BY:
I.PERKINS

Paper Size

DATE:
10-AUG-15

B

SEASONS AT TRAVERSE MOUNTAIN PHASE 2 - OPT 2A
 SALT LAKE CITY, UT



*PLAYGROUND SUPERVISION REQUIRED